

CITY OF WISCONSIN DELLS MEETING AGENDA

Meeting Description CITY PLAN COMMISSION

Date: TUESDAY, NOVEMBER 13, 2018 Time: 5:30PM Location: MUNICIPAL BUILDING
300 LA CROSSE STREET, WISCONSIN DELLS, WI

		Committee Members		
Mayor Ed Wojnicz-Chair		Alder. Mike Freel	Fire Chief Pat Gavinski	Chris Lechnir
		Lisa Delmore	Phil Helley	Ted Theiler
AGENDA ITEMS:				
1	CALL MEETING TO ORDER AND ATTENDANCE			
2	APPROVAL OF THE MINUTES FROM THE OCTOBER 8, 2018 MEETING			
3	PUBLIC HEARING TO CONSIDER A SITE PLAN APPLICATION FROM FIORELLA NEIRA IN ORDER TO CONSTRUCT A SHARED OFFICE BUILDING AT 1125 OAK ST, WISCONSIN DELLS, COLUMBIA COUNTY TAX PARCEL 11291-436. THE PROPERTY IS ZONED C-1 COMMERCIAL-NEIGHBORHOOD. (CUP APPROVED IN OCTOBER)			
4	DISCUSSION / DECISION ON ITEM #3 (SITE PLAN-NEIRA)			
5	DISCUSSION/DECISION ON CSM FROM TODD & SHARI NELSON, WISCONSIN DELLS SAUK COUNTY TAX PARCELS 291-0026-10000, 291-0026-22000, AND 291-0026-21000. THE PROPERTY IS ZONED C-4 COMMERCIAL-LARGE SCALE.			
6	ANY OTHER ITEMS FOR REFERRAL TO FUTURE MEETINGS			
7	SET DATE FOR THE NEXT PLAN COMMISSION MEETING (DECEMBER 10, 2018)			
8	ADJOURNMENT			
	<p>Open Meetings Notice: If this meeting is attended by one or more members of the Common Council who are not members of this committee, their attendance may create a quorum of another city commission, board or committee under the Wisconsin Open Meetings Law; However, no formal action will be taken by any governmental body at the above stated meeting other than the body, committee, commission, or board identified in this meeting notice. Please be advised that upon reasonable notice, the City of Wisconsin Dells will furnish appropriate auxiliary aids and services to afford individuals with disabilities an equal opportunity to participate in meeting activities.</p>			
	MAYOR ED WOJNICZ CHAIRPERSON		DISTRIBUTED NOVEMBER 9, 2018	

Site Plan – Fiorella Neira
Columbia County, Wisconsin Dells Parcel 11291-436
Staff Report for Plan Commission, 11/13/2018

The City of Wis. Dells approved a Conditional Use Permit (CUP) application for Fiorella Neira to construct a new office building for “General Services”. The use is proposed on Columbia County, City of Wis. Dells parcel 11291-436, which is currently a vacant lot located at 1125 Oak St. This area is zoned C-1 Commercial-neighborhood, which allows “General Services” as a Conditional Use. As this project will involve the construction of a new Commercial building, City approval of the Site Plan is required as well. Only a preliminary Site plan was presented at the October Planning meeting, and the Commission requested a more formal plan be developed and presented. The applicant has obtained the services of General Engineering to evaluate the site and provide the plan.

The building would be a 50ft x 60ft footprint with 10ft walls. It would have metal siding, and is intended to have a refined industrial look. The building would be split into sections, with about ½ of the building (30ft x 50ft) being dedicated to the office space, with a larger (approx 20ftx40ft) common area with work tables, seating, a kitchenette and bathrooms. This half of the building would also contain the offices and a 10ft x 15ft conference room. The other half of the building would be 2 large open spaces (25ftx30ft each). These would be a storage/workshop space for the applicant’s events planning business and a studio/event space that would be open for rental. The applicant would like to be able to rent the studio/event space for other businesses. This could include things like yoga classes or art exhibits. It would seem that the studio/event use would be when more traffic would be expected.

The primary logistical concerns of this Site plan are access, storm water, and parking. There may also be some desire to review the design and look of the proposed building, as it is a relatively large industrial type looking building in a somewhat residentially used neighborhood. The Plan Commission could make a decision on the building’s suitability in this location independently. Given the somewhat specific style and look the applicant seems to be suggesting for this particular project, the Plan Commission could refer the final building design to the Design Review Committee as a condition of approval. In addition, considering the significant number of residences in the area of Oak St., it seems reasonable that efforts be made to include Landscaping to soften the impact of this large building on the neighborhood.

Most of the Site plan concerns stem from the actual topographical nature of this property. There is a significant drop in elevation from the Oak St. side of this property to the alley side of this property. It appears there is a drop of about 10ft over the 120 ft depth of the property from Oak St. to the alley. This elevation drop creates challenges with the build ability of this site, for a relatively large building and required parking. The service uses proposed for this site (which includes the applicant’s Event planning business) require one (1) parking stall for every 300 sq ft of building space devoted to office use. Half of the 50ftx60ft building is dedicated to the office use, which is 1500 sq ft, so the minimum parking requirement for that use would be 5 parking stalls. One-quarter (1/4) of the building would be storage/work space for the applicant Event planning business, so no additional parking is required. One-quarter (1/4) of the building would be the studio/event space, which would require an additional 3 parking stalls. So the minimum required parking would, per the Zoning Code, would be 8 parking stalls. Other uses of the facility which would attract patrons would be required to provide adequate parking for the number of patrons. As these uses would likely only be using the studio/event space, it seems unlikely they would exceed 8 patrons. Ideally, the parking would be available, as the studio/event space rental would occur outside the normal Mon-Fri 9-5 and Sat 9-8 operating hours of the facility.

The grades at this site make it more difficult to design that if the site were flat. The applicant obtained the services of General Engineering and they evaluated a couple of different options on the Site. The proposed plan provides 8 parking stalls, and appears to provide storm water control above the 100 year storm, but does not provide an access drive off of Oak St. The applicant has stated that this use would likely not need more than the 8 parking stalls. The applicant has stated that the nature of a shared use office space involves

an infrequent use of the offices. As stated before, the intent is to rent the offices to small business people, provided services out of the office, and may otherwise be working from home. The applicant has utilized shared offices in Madison, and each occupant does not come into the office on a set schedule, and all the offices were rarely occupied at the same time. In addition, the expectation is that the studio/event space would not be utilized during normal business hours when the offices would be. The Parking requirements in the Zoning Code do define "Shared Parking" and allow for some consideration of shared parking spaces for businesses that do not have overlapping primary operating hours. The applicant is working on getting an engineered grading plan, and the expectation is that they will be able to provide 8 parking stalls.

Feedback from the public notice that was sent out for this project has revealed that there have been some problems historically with illegal parking in this area, particularly at the garage facility next to this site. As an unmanned garage facility, there have been some issues with unauthorized people parking vehicles on this private property, or blocking the drive access to this property. The applicant will be responsible to ensure any tenants at this facility follow all parking regulations and respect the surrounding private property.

Required parking stalls must be paved, therefore a majority of this site, which is currently undeveloped and grassy, will become impermeable, which would likely increase the amount of storm water that will run off the site. The grade of this site had already created storm water issue for properties down-stream (west) which had required the City to rebuild the alley, storm sewer, and install two (2) storm water inlets in the alley adjacent to this site. The Plan from General Engineering includes three stone trenches that should be capable of holding back water for up to the 100 yr storm.

The grade of this site also appears to make direct access to Oak St. difficult. The current plan only indicates access to this site from the alley. It appears the code only requires that the site be accessible from a public ROW, which the alley can provide. It is noted that the alley that runs from this site to Indiana Ave. only passes a non-occupied garage facility on one side with two (2) homes on the other side, the alley then goes through the City boat parking lot to access Indiana Ave. It is difficult to predict what traffic issues may occur in this case. Although, it seems event type uses would likely generate more traffic and create more potential for issues.

It appears this plan mostly address the storm water issue, however this is based on infiltration rates in the stone trenches. There is some concern about the infiltration rates decreasing over time. A pipe has been added as a backup discharge from the stone trench directly into the municipal storm water system. As this site has proven to provide some design challenges, minor tweaks to the system may be desirable. As such, this office requests final approval authority.

In addition, it seems critical that this project be constructed as planned, therefore it is also suggested that there be some level of professional oversight of the construction.

Any approval of the Site plan should carry the following conditions.

1. The final storm water system is approved by the Zoning Administrator.
2. The applicant obtains professional construction oversight.
2. The applicant cooperates with the City to address any parking, traffic flow, or storm water issues that may arise.

Chris Tollaksen
City of Wis. Dells
11/09/2018

SITE PLAN APPLICATION Wisconsin Dells, Wisconsin

Version: February 27, 2008

General instructions. Complete this application as it applies to your project and submit one copy to the zoning administrator along with the required application fee. Before you formally submit your application and fee, you may submit one copy to the zoning administrator who will ensure it is complete. If you have any questions, don't hesitate to contact the zoning administrator at 608-253-2542. You may obtain a digital copy of this form from the zoning administrator.

- Office Use Only -

Initial application fee	
Receipt number	
Application number	

1. Applicant information

Applicant name Florella Neira

Street address 114 pilgrim dr unit 3

City Wisconsin Dells

State and zip code WI 53965

Daytime telephone number 608-432-4624

Fax number, if any _____

E-mail, if any FIGRELLABNEIRA@GMAIL.COM

2. Subject property information

Street address	<u>LOT 4 AND 5 OF BLOCK 10, east of Wisconsin Dells, WI</u>	
Parcel number	<u>11291-436</u>	Note: the parcel number can be found on the tax bill for the property or may be obtained from the City.
Current zoning classification(s)	<u>C-1</u>	
Describe the current use	<u>empty lots</u>	

3. Proposed use. Describe the proposed use.

OFFICE/STORAGE/COWORKING

4. Operating conditions. For non-residential uses, describe anticipated operating conditions (hours of operation, conditions that may affect surrounding properties, etc.)

M-F 9AM-5PM SAT 10AM-6PM

5. Potential nuisances. Describe any potential nuisances relating to street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.

Planning on 11 parking spaces - may use street parking but not ~~expected~~ expected

10 spaces are required^{1 of 6} based on the building size of 3,000 square feet.

SITE PLAN APPLICATION
Wisconsin Dells, Wisconsin

Version: February 27, 2008

6. Review criteria. In making its decision, the Plan Commission must consider five factors as listed below. Provide a response to each. (See Section 19.393 of the Municipal Code.)

a. Consistency of the project with the city's comprehensive plan and neighborhood plan or other subarea plan, if any

It falls in with city plan

b. Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site

traffic will access the property through alley and oak st

c. Effects of the project on the natural environment

none

d. Effects of the project on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances

office + co working on commercial property

e. The overall appearance of the project

Attached

f. If the project is a multi-family real estate development (more than 3 dwelling units), does the project meet the following standards:

1. All setback areas fronting on or visible from an adjacent public street, and all recreation, leisure and open space areas shall be landscaped in accordance with the project plan. Decorative design elements, such as fountains, pools, benches, sculpture, planters, exterior recreational facilities and similar elements may be permitted, providing such elements are incorporated as part of the landscaping plan; and, permanent and automatic irrigation facilities are provided in all planted landscaped area.

not multi family

2. Minimum open space is thirty (30%) percent of the net area being developed. The net area shall exclude dedicated or proposed-dedicated public rights-of-way.

N/A

3. Common open space areas are designed and located within the project to afford use by all residents of the project. These common areas may include, but are not limited to: game courts or rooms, swimming pools, garden roofs, sauna baths, putting greens, or play lots.

N/A

SITE PLAN APPLICATION
Wisconsin Dells, Wisconsin

Version: February 27, 2008

4. Active recreation and leisure areas, except those located completely within a structure, used to meet the open space requirement, shall not be located within fifteen (15) feet of any door or window of a dwelling unit.

N/A

5. Private waterways, including pools, streams and fountains, may be used to satisfy not more than fifty (50%) percent of the required open space.

N/A

6. Trash collection areas shall be provided within two hundred and fifty (250') feet of the units they are designed to serve. Such areas shall be enclosed within a building or screened with masonry walls having a minimum height of five feet. Access gates or doors to any trash area, not enclosed within a building, are to be of opaque material.

N/A

7. Project map. Attach a scaled map showing the information as listed at the end of this application. Use one of the following page sizes as appropriate: 8½" x 11", 11" x 17", or 24" x 36".

8. Applicant certification

- ◆ I certify that the application is true as of the date it was submitted to the City for review.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with the agreement below.

--	--

Applicant Signature

Date

Governing Regulations The procedures and standards governing this application process are found in Chapter 19, Article 4, Division 6, of the City's Municipal Code.

Building Inspiration



50'x60' building – 10ft walls – Wainscoating - glass door – 8'x8' garage door – 14 windows



Storage/Workshop -counter w/ sink - Cooler – Conference Room – 4 10'x10' private office – 8 private desks – Lounge open seating
Dance/photo/yoga studio - Counter open seating - Table open seating – Outdoor seating – Bathroom – Kitchenette/Coffee

General Engineering Company
P.O. Box 340
916 Silver Lake Drive
Portage, WI 53901



Engineers • Consultants • Inspectors

608-742-2169 (Office)
608-742-2592 (Fax)
gec@generalengineering.net
www.generalengineering.net

November 6, 2018

Zoning Administrator/Building Official
City of Wisconsin Dells
Attn: Chris Tollaksen

Re: Oak Street Development
City of Wisconsin Dells
Fiorella Neira – Owner
GEC #2-1018-499

Dear Chris:

The purpose of this letter is to provide a framework for the storm water management for the proposed development located along the Oak St in City of Wisconsin Dells.

The proposed development consists of approximately 3,000 square foot office building, 8 associated parking areas, and storm water features such as stone trenches and underground piping. The features will be constructed to provide attenuation of stormwater that will be increased by development on this property.

The runoff from the project site will be directed to stone trenches via building gutters, underground piping, and grading of the site. The devices will ultimately discharge to the existing storm sewer system locating in the alley.

The analysis point has been set as the northwestern discharge point for both the pre-development and post-development conditions. Post-development storm water runoff has been slightly increased over the pre-development peak flow rates for the 1, 2, and 25-year storm events; however, the 50 and 100-year storm have been reduced below pre-development flows.

A summary of the pre-development and post-development peak flow discharges at the analysis points are shown below. The post-development scenario assumes the storm water management facilities are attenuating storm water, the watershed is completely developed and all disturbed areas have been stabilized.

Year Storm	Pre-Dev. Peak Discharge (cfs)	Post-Dev. Peak Discharge (cfs)
1	0.0	0.1
2	0.0	0.1
25	0.1	0.2
50	0.2	0.1
100	0.3	0.2

Portage • Black River Falls • La Crosse



Consulting Engineering • Structural Engineering • Building Design • Environmental Services • Building Inspection • GIS Services
Grants & Funding Services • Land Surveying • Zoning Administration • Mechanical, Electrical, & Plumbing Services



The Appendix contains pre and post development calculations that were performed using computer modeling software HydroCAD, as well as full set of drawings for the project.

If you have any questions regarding this, please contact me.

Yours truly,

GENERAL ENGINEERING COMPANY

Bradley R. Boettcher

Bradley R. Boettcher
Registered Professional Engineer

BRB/lfg



OAK STREET DEVELOPMENT FIORELLA NEIRA

City of Wisconsin Dells
Columbia County, WI

General Engineering Company
P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net
This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.



PROJECT LOCATION



NO SCALE



CITY OF WISCONSIN DELLS
LOCATION PLAN

PROJECT LOCATION

TABLE OF CONTENTS:

<u>GENERAL</u>	
G1.0	TITLE PAGE
G1.1	LEGEND & NOTES
<u>CIVIL</u>	
C1.0	EXISTING SITE PLAN
C2.0	PROPOSED SITE PLAN
C3.0	PROPOSED GRADING PLAN
C4.0	EROSION CONTROL DETAILS
C5.0	CONSTRUCTION DETAILS-MISC
C6.0	EROSION CONTROL SPECIFICATIONS

TITLE PAGE
OAK STREET DEVELOPMENT
FIORELLA NEIRA
CITY OF WISCONSIN DELLS
COLUMBIA COUNTY, WI

ENGINEER SEAL:

REVISIONS	NO.	BY	DATE

SCALE	
DRAWN BY	LAL
REVIEWED BY	BRB
ISSUE DATE	NOV 2018
GEC FILE NO.	2-1018-499
SHEET NO.	G1.0

CONSTRUCTION NOTES

GENERAL

- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED, BY CONTRACTOR, PRIOR TO CONSTRUCTION.
- EXISTING DRIVEWAYS ARE DESIGNATED IN THE FOLLOWING MANNER:
A -- ASPHALT
G -- GRAVEL
C -- CONCRETE
D -- DIRT
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO ALL AFFECTED RESIDENTS FOR ALL PLANNED WATER AND/OR SEWER SERVICE OUTAGES.
- ALL ASPHALT REPAIRS/REPLACEMENT SHALL BE SAWCUT TO MATCH EXISTING PAVEMENT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL EXISTING ASPHALT AND GRAVEL DRIVEWAY APRONS THAT ARE REQUIRED TO BE RECONSTRUCTED SHALL BE REPLACED WITH 8" OF CRUSHED AGGREGATE BASE COURSE AND 3" OF ASPHALT. ALL EXISTING CONCRETE DRIVEWAY APRONS THAT ARE REQUIRED TO BE RECONSTRUCTED SHALL BE REPLACED WITH 6" CONCRETE.

WATER MAIN

- EXISTING WATER MAIN LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
- UNLESS OTHERWISE INDICATED BY DESIGN GRADE, MAINTAIN A 7.0' MINIMUM DEPTH OF COVER OVER PROPOSED WATER MAIN AND WATER MAIN LATERALS.
- UNLESS OTHERWISE INDICATED FOR WATER MAIN CROSSINGS BELOW STORM SEWER & SANITARY SEWER PIPES CONTRACTOR SHALL MAINTAIN A MINIMUM 18" OF SEPARATION FROM EDGE OF PIPE TO EDGE OF PIPE.
- LATERALS SHALL BE 1" COPPER UNLESS OTHERWISE INDICATED.

SANITARY SEWER & FORCEMAIN

- EXISTING SANITARY SEWER LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
- EXISTING FORCEMAIN LOCATIONS ARE SHOWN APPROXIMATE AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
- NOT ALL SEWER LATERALS ARE SHOWN. ALL PARCELS TO HAVE SANITARY SEWER SERVICE LATERAL REPLACED EVEN IF NOT SHOWN. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL SANITARY SEWER SERVICE LATERALS.
- REPLACE SEWER LATERALS FROM RIGHT OF WAY TO NEW SANITARY MAIN AND INSTALL A TRACER WIRE TERMINAL BOX AT THE STREET RIGHT-OF-WAY.
- LATERALS SHALL BE 6" OR 4" PVC UNLESS OTHERWISE INDICATED.
- PROVIDE 7.0' MINIMUM DEPTH OF COVER OVER PROPOSED FORCEMAIN.
- SANITARY SEWER PIPE LENGTHS ARE SHOWN MEASURED FROM INSIDE OF STRUCTURE TO INSIDE OF STRUCTURE.

STORM SEWER

- STORM SEWER PIPE LENGTHS ARE SHOWN MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

GRADING & EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- SILT FENCE, TEMPORARY SEDIMENT BASIN, & ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING & GRUBBING.
- ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION TYPE-D INSTALLED UPON INLET INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR WEEKLY DNR INSPECTION REPORTS IN ACCORDANCE WITH NR 216.46(9).
- ADDITIONAL EROSION CONTROL MEASURES MAY BE ADDED ON AN AS-NEEDED BASIS.
- ANY AREAS WHERE GRADING IS COMPLETE SHALL BE STABILIZED WITH FERTILIZER, SEED, & MULCH AS SOON AS POSSIBLE.
- ALL BEST MANAGEMENT PRACTICES WILL BE INSTALLED BY THE TIME THE CONSTRUCTION SITE IS CONSIDERED STABILIZED.
- A COPY OF THIS EROSION CONTROL PLAN SHALL BE KEPT ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- STOCKPILES LEFT INACTIVE FOR 7 DAYS SHALL BE SEED AND SURROUNDED BY SILT FENCE.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
- EROSION CONTROL MAT CLASS I, TYPE A WILL BE USED IN NON-CHANNEL AREAS AND CLASS I, TYPE B WILL BE USED IN CHANNEL AREAS.
- TRACKED EQUIPMENT ONLY SHALL BE USED IN THE BUFFER AREAS AS TO MINIMIZE COMPACTION.
- STREETS SHALL BE SWEEPED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE MUNICIPALITY.
- TRACKING PADS SHALL BE USED AT THE CONSTRUCTION ENTRANCE AND EXITS.
- ALTHOUGH ROCK CONSTRUCTION TRACKING PADS MAY NOT BE SHOWN ON THE PLANS, THE CONTRACTOR SHALL INSTALL THEM AS NECESSARY OR AS DIRECTED BY THE ENGINEER TO MINIMIZE TRACKING ONTO ADJACENT STREETS. THESE PADS ARE CONSIDERED INCIDENTAL TO THE WORK AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL DUST CONTROL.
- ALL BANK AREAS DISTURBED SHALL BE STABILIZED WITH EROSION CONTROL MAT IMMEDIATELY.
- POSITIVE DRAINAGE AWAY FROM THE BUILDING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE CONFIRMED BY THE ENGINEER.
- DOWN SPOUTS SHALL BE DIRECTED IN A SAFE MANNER AND COMPLY WITH ALL LOCAL AND STATE REGULATIONS.
- ALL FILL PLACED UNDER BUILDING AND PAVED AREAS SHALL BE STRUCTURALLY SOUND.
- ALL SEDIMENT THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS WILL BE CLEANED UP BEFORE THE END OF THE SAME WORKDAY.
- ALL INSTALLED EROSION CONTROL PRACTICES WILL BE MAINTAINED UNTIL THE DISTURBED AREAS THEY PROTECT ARE STABILIZED.
- ALL EROSION CONTROL MAT SHALL BE INSTALLED WITHIN 24 HOURS OF FINAL GRADES BEING ESTABLISHED.

EXISTING LINETYPES LEGEND

- San SANITARY SEWER
- ST STORM SEWER
- WM WATER MAIN
- FM FORCE MAIN
- E ELECTRIC
- OE OVERHEAD ELECTRIC
- G GAS
- FO FIBER OPTIC
- T TELEPHONE
- TV TV
- X X FENCE
- o o GUARD RAIL
- GL GL GRADING LIMITS
- SF SF SILT FENCE
- DB DB DOUBLE SEDIMENT BARRIER
- ||||| TRAIN TRACKS
- ~~~~~ TREELINE

SYMBOLS LEGEND

- (S) (D) EXISTING MANHOLE
- (S) (D) PROPOSED MANHOLE
- EXISTING HYDRANT
- PROPOSED HYDRANT
- ⊗ VALVE
- ⊕ CURB STOP
- ⊠ TRACER WIRE TERMINAL BOX
- △ WELL
- PROPERTY CORNER
- LIGHT POLE
- POWER / TELEPHONE POLE
- ↓ GUY WIRE
- UTILITY PEDESTAL
- ⊠ SIGN
- ⊠ SOIL BORING
- ⊠ MONITORING WELL
- ⊠ MAILBOX
- ⚠ CAUTION POTENTIAL HAZARD
- ⊠ BENCHMARK
- GEC-CP # CONTROL POINT
- DECIDUOUS TREE
- CONIFEROUS TREE
- ♿ HANDICAP SYMBOL

ABBREVIATION LIST

- B-B = BACK TO BACK
- BOC = BACK OF CURB
- BOP = BOTTOM OF PIPE
- BOW = BOTTOM OF WALL
- C-C = CENTER TO CENTER
- CL = CENTERLINE
- CP = CONTROL POINT
- DIA = DIAMETER
- ELEV = ELEVATION
- EOG = EDGE OF GRAVEL
- EOP = EDGE OF PAVEMENT
- EX = EXISTING
- FL = FLOW LINE
- FM = FORCE MAIN
- HC = HORIZONTAL CURVE
- HP = HIGH POINT
- IE = INVERT ELEVATION
- INL = INLET
- INV = INVERT
- IOS = INSIDE OF STRUCTURE
- L = LENGTH
- LN = LINE
- LP = LOW POINT
- MH = MANHOLE
- MIN = MINIMUM
- MP = MIDPOINT
- PC = POINT OF CURVE
- PI = POINT OF INTERSECTION
- PRO = PROPOSED
- PT = POINT OF TANGENT
- PVC = POINT OF VERTICAL CURVE
- PVI = POINT OF VERTICAL INTERSECTION
- PVMT = PAVEMENT
- PVT = POINT OF VERTICAL TANGENT
- R = RADIUS
- ROW = RIGHT OF WAY
- S = SANITARY SEWER SERVICE LATERAL
- SAN = SANITARY SEWER
- SE = SPOT ELEVATION
- ST = STORM SEWER
- STA = STATION
- STD = STANDARD
- TC = TOP OF CURB
- TOP = TOP OF PIPE
- TOW = TOP OF WALL
- TYP = TYPICAL
- UOS = UNLESS OTHERWISE SPECIFIED
- VC = VERTICAL CURVE
- W = WATER MAIN SERVICE LATERAL
- WM = WATER MAIN

DIGGERS HOTLINE NOTE



OWNER

IORELLA NEIRA

UTILITIES

- ELECTRIC**
CITY OF WISCONSIN DELLS
P.O. BOX 655
WISCONSIN DELLS, WI 53965
PHONE: (608) 253-2542
- GAS**
ALLIANT ENERGY
2777 COLUMBIA, DR.
PORTAGE, WI 53901
PHONE: (608) 742-0801
- CABLE TV**
CHARTER COMMUNICATIONS
E10704 HWY 33
BARABOO, WI 53913
PHONE: (608) 274-3822 *6694
- WATER/SANITARY**
CITY OF WISCONSIN DELLS
P.O. BOX 655
WISCONSIN DELLS, WI 53965
PHONE: (608) 253-2542
- MUNICIPALITY**
CITY OF WISCONSIN DELLS
P.O. BOX 655
WISCONSIN DELLS, WI 53965
PHONE: (608) 253-2542



General Engineering Company
P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net

This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.

LEGEND & NOTES
OAK STREET DEVELOPMENT
IORELLA NEIRA
CITY OF WISCONSIN DELLS
COLUMBIA COUNTY, WI

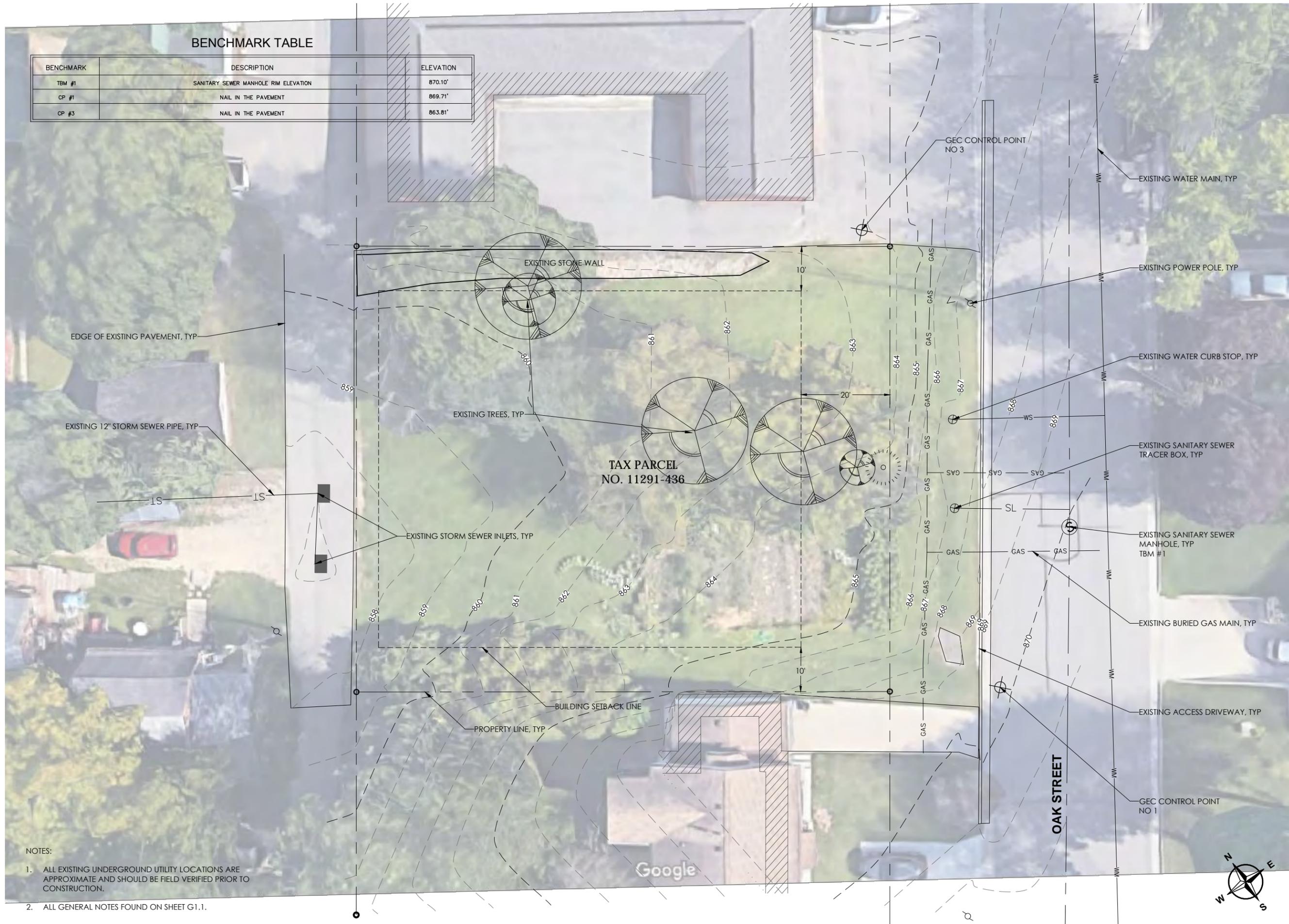
REVISIONS	NO.	BY	DATE

SCALE

DRAWN BY	LAL
REVIEWED BY	BRB
ISSUE DATE	NOV 2018
GEC FILE NO.	2-1018-499
SHEET NO.	

BENCHMARK TABLE

BENCHMARK	DESCRIPTION	ELEVATION
TBM #1	SANITARY SEWER MANHOLE RIM ELEVATION	870.10'
CP #1	NAIL IN THE PAVEMENT	869.71'
CP #3	NAIL IN THE PAVEMENT	863.81'



NOTES:

- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL GENERAL NOTES FOUND ON SHEET G1.1.



General Engineering Company

P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net

This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.

**EXISTING SITE PLAN
OAK STREET DEVELOPMENT
FIORELLA NEIRA**

**CITY OF WISCONSIN DELLS
COLUMBIA COUNTY, WI**

REVISIONS	NO.	BY	DATE



DRAWN BY	LAL
REVIEWED BY	BRB
ISSUE DATE	OCT 2018
GEC FILE NO.	2-1018-499
SHEET NO.	

C1.0



DIAL 811 or 1-800-242-8511

To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin
Wis Statute 182.0175 (1974)
Requires Min. 3 Work Days Notice Before You Excavate



General Engineering Company
P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net
This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.

PROPOSED SITE PLAN
OAK STREET DEVELOPMENT
FIORELLA NEIRA
CITY OF WISCONSIN DELLS
COLUMBIA COUNTY, WI



- NOTES:
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

REVISIONS	NO.	BY	DATE



DRAWN BY: LAL
REVIEWED BY: BRB
ISSUE DATE: OCT 2018
GEC FILE NO.: 2-1018-499
SHEET NO.:



General Engineering Company
 P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
 608-742-2169 (Office) • 608-742-2592 (Fax)
 www.generalengineering.net

This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.

PROPOSED GRADING PLAN
OAK STREET DEVELOPMENT
IORELLA NEIRA
 CITY OF WISCONSIN DELLS
 COLUMBIA COUNTY, WI

REVISIONS	NO.	BY	DATE

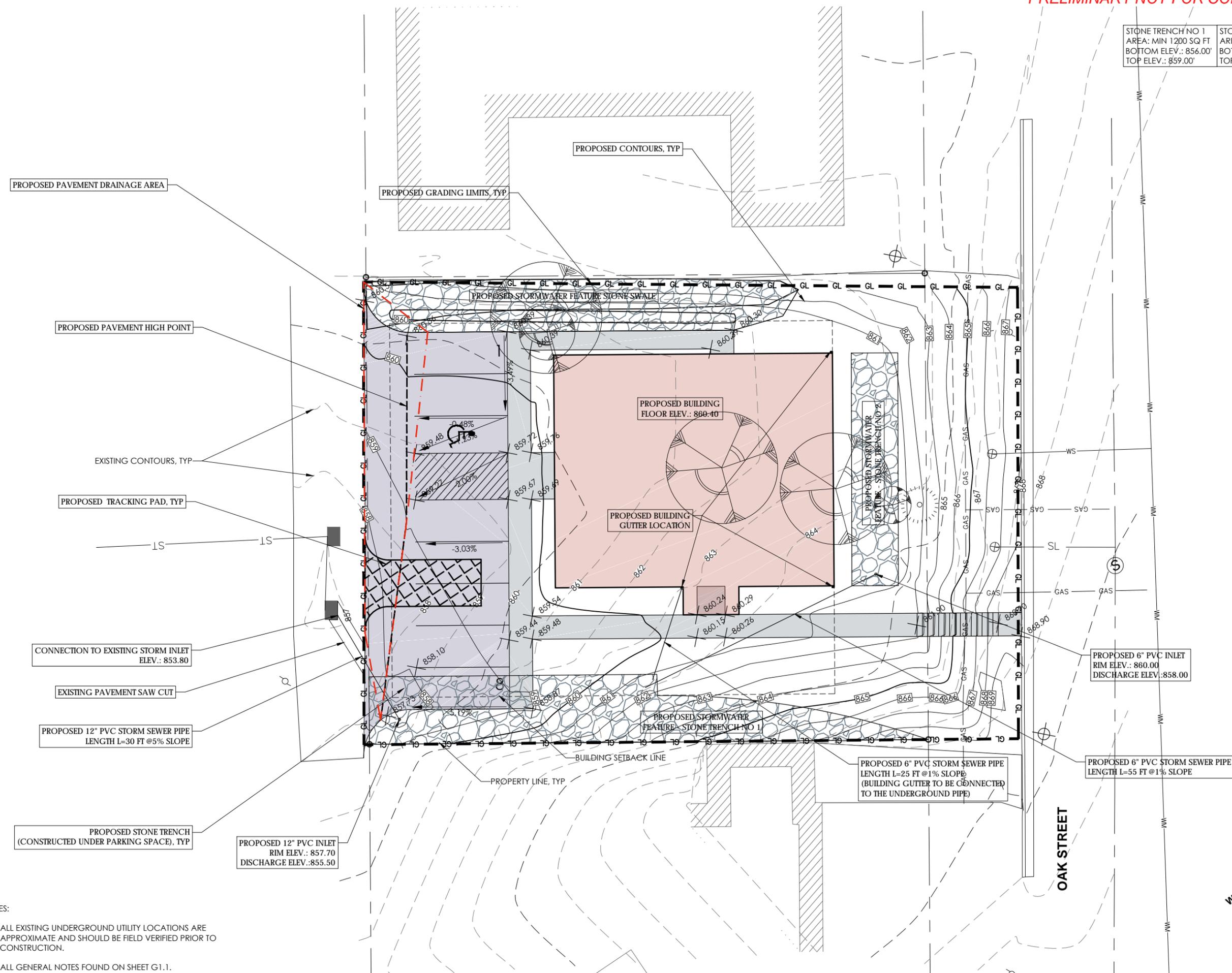


DRAWN BY: LAL
 REVIEWED BY: BRB
 ISSUE DATE: OCT 2018
 GEC FILE NO.: 2-1018-499
 SHEET NO.

C3.0

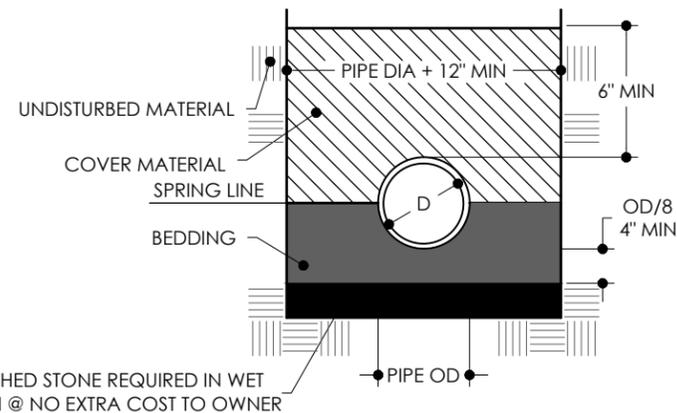
STONE TRENCH NO 1
 AREA: MIN 1200 SQ FT
 BOTTOM ELEV.: 856.00'
 TOP ELEV.: 859.00'

STONE TRENCH NO 2
 AREA: MIN 500 SQ FT
 BOTTOM ELEV.: 857.50'
 TOP ELEV.: 861.00'



- NOTES:
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - ALL GENERAL NOTES FOUND ON SHEET G1.1.





3" CRUSHED STONE REQUIRED IN WET TRENCH @ NO EXTRA COST TO OWNER

BEDDING AND COVER MATERIAL:

CLASS IA: CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
NO. 4	0-10
NO. 8	0-5

CLASS IB: CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

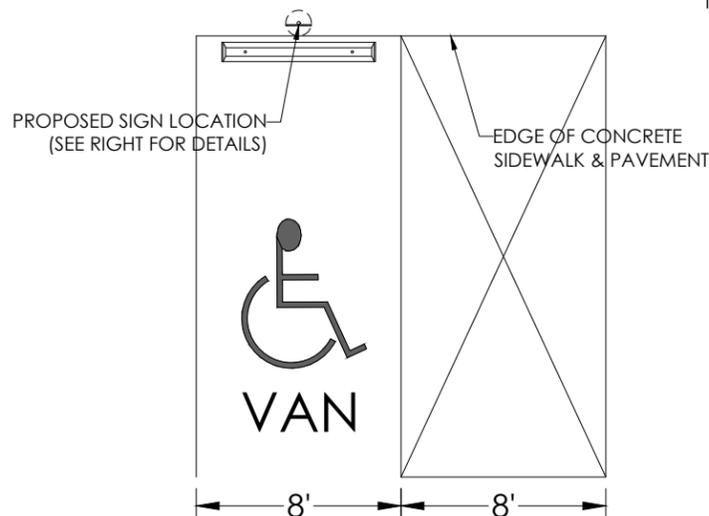
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	85-100
NO. 4	10-30
NO. 200	0-5

CLASS II: CLEAN COARSE-GRAINED SOILS CLASSIFIED IN ASTM D2487 AS GW, GP, SW, SP.
 CLASS III: COARSE-GRAINED SOILS WITH FINES CLASSIFIED IN ASTM D2487 AS GM, GC, SM, SC.

INSTALLATION:

PLACE 4" OF BEDDING MATERIAL BENEATH PIPE. PLACE BEDDING MATERIAL AROUND THE PIPE TO THE SPRING LINE. WORK THE MATERIAL IN AND AROUND THE PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. PLACE COVER MATERIAL CAREFULLY TO A LEVEL 6" ABOVE THE PIPE.

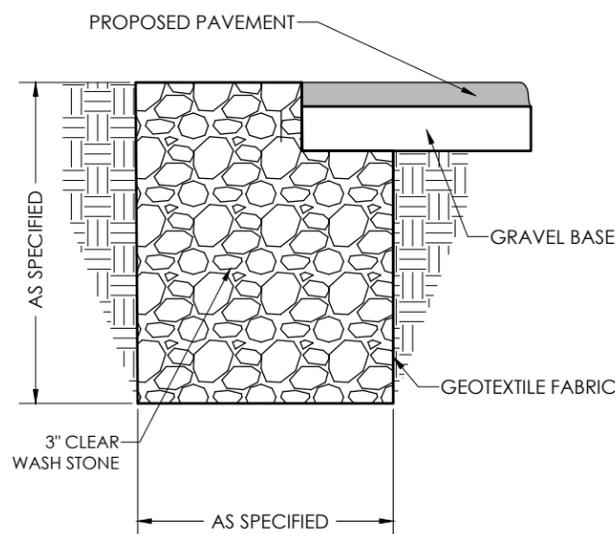
PIPE BEDDING DETAIL



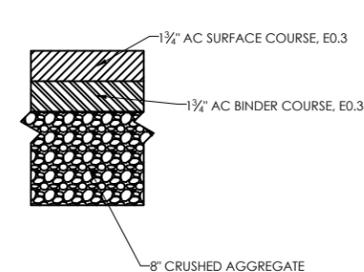
NOTES:

- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- SIGN SHALL BE 60" MIN ABOVE THE GROUND SURFACE OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN.
- SIGN SHALL CONSIST OF A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL, HAVING GREEN MESSAGE AND A BLUE & WHITE INTERNATIONAL SYMBOL FOR THE BARRIER-FREE ENVIRONMENTS.
- THE SIGN MAY BE REFLECTIVE OR NON-REFLECTIVE WITH AMERICANS WITH DISABILITIES ACT (ADA) SIGNAGE REGULATIONS.

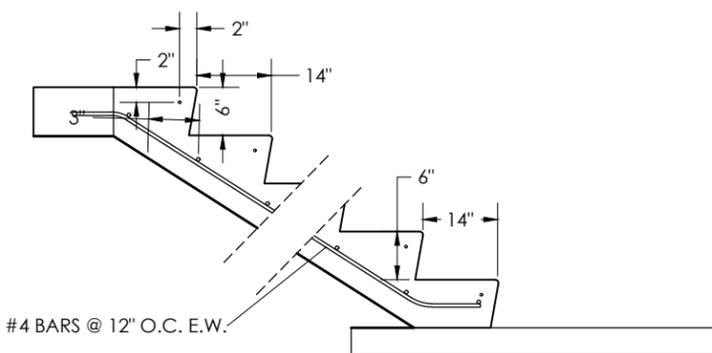
ADA DETAIL



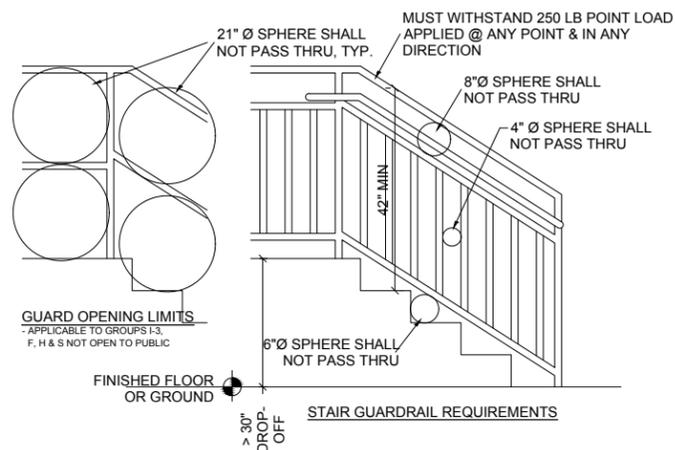
CONCRETE SIDEWALK SECTION



ASPHALTIC PAVEMENT SECTION

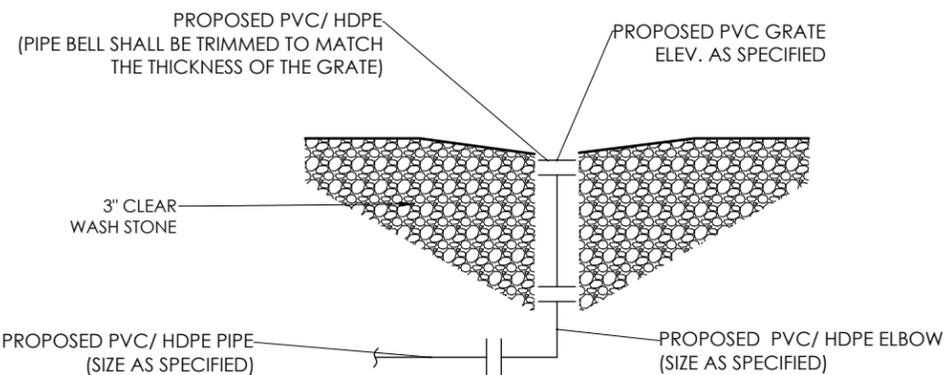


CONCRETE STAIRS AND RAILING DETAIL



GUARD OPENING LIMITS
 - APPLICABLE TO GROUPS I-3.
 F, H & S NOT OPEN TO PUBLIC

STAIR GUARDRAIL REQUIREMENTS



NOTES:

CONTRACTOR SHALL CUT "V" SHAPED NOTCHES IN PIPE BELL (BELOW THE GRATE) TO ALLOW DISCHARGE OF THE STORMWATER IN EVENT WHEN THE INLET WILL BE CLOGGED.

PROPOSED STONE TRENCH PIPE INLET



General Engineering Company

P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
 608-742-2169 (Office) • 608-742-2592 (Fax)
 www.generalengineering.net

This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by General Engineering Company.

CONSTRUCTION DETAILS-MISC
OAK STREET DEVELOPMENT
IORELLA NEIRA

CITY OF WISCONSIN DELLS
 COLUMBIA COUNTY, WI

NO.	DATE	BY	REVISIONS

AS NOTED
 SCALE

DRAWN BY	LAL
REVIEWED BY	BRB
ISSUE DATE	NOV 2018
GEC FILE NO.	2-1018-499
SHEET NO.	

C5.0

CONSTRUCTION SITE EROSION CONTROL

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. FURNISHING, INSTALLING, MAINTAINING, AND REMOVING EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES.
- B. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE WORK SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.

1.02 REFERENCES

- A. WDNR TECHNICAL STANDARDS - SEE DNR WEBSITE @ <http://dnr.state.wi.us/org/water/wm/nps/stormwater/techstds.htm>
- B. WISCONSIN DEPARTMENT OF TRANSPORTATION, EROSION CONTROL, PRODUCT ACCEPTABILITY LISTS FOR MULTI-MODAL APPLICATIONS PAL, CURRENT EDITION.

1.03 GENERAL

- A. REQUIREMENTS OF WDNR TECHNICAL STANDARDS SHALL BE FOLLOWED AT ALL TIMES.
- B. USE SURFACE WATER AND EROSION CONTROL FACILITIES AND MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY TO CONTROL THE MOVEMENT OF SURFACE WATER AND TO REDUCE THE POTENTIAL FOR EROSION. MAINTAIN THE FACILITIES AND MEASURES UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- C. ERODED SOIL MATERIAL SHALL NOT BE ALLOWED TO LEAVE THE CONSTRUCTION SITE OR TO ENTER A WATERWAY, LAKE, OR WETLAND.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING THE EROSION CONTROL FACILITIES, AND IN GENERAL, SHALL USE CONSTRUCTION PRACTICES THAT MINIMIZE EROSION.
- E. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
- F. PREVENT CONSTRUCTION SITE TRACKING WITH GRAVELED ROADS, ACCESS DRIVES, AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC AND PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY.

1.04 SEQUENCING AND SCHEDULING

- A. CONSTRUCT AND STABILIZE EROSION CONTROL MEASURES FOR DIVERSIONS OR OUTLETS PRIOR TO ANY GRADING OR DISTURBANCE OF THE CONSTRUCTION SITE.
- B. INSTALL FILTER FABRIC AND STRAW BALE FENCES AND BARRIERS PRIOR TO DISTURBING THE AREA.
- C. TURF AREAS THAT HAVE BEEN COMPLETED TO FINISH GRADE SHALL BE STABILIZED WITH PERMANENT SEEDING WITHIN SEVEN DAYS. TURF AREAS WHERE ACTIVITY HAS CEASED AND THAT WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS BEFORE ACTIVITY RESUMES AND SOIL STOCKPILES SHALL BE STABILIZED WITH TEMPORARY SEEDING OR SOIL STABILIZER.
- D. OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DISTURBANCE OF THE CONSTRUCTION SITE, AS APPLICABLE.

PART 2 - PRODUCTS

2.01 SILT FENCE

- FABRIC SHALL BE SHALL A WOVEN OR NONWOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, OR POLYETHYLENE GEOTEXTILE WITH THE FOLLOWING MINIMUM PROPERTIES:

PROPERTY	TEST METHOD	REQUIREMENT*
GRAB TENSILE STRENGTH, LBS MIN. MACHINE DIRECTION	ASTM D 4632	120
CROSS DIRECTION		100
MAX. APPARENT OPENING SIZE, US SIEVE	ASTM D 4751	NO. 30
PERMITTIVITY, SEC-1, MIN.	ASTM D 4491	0.05
MIN. UV STABILITY AT 500 HRS, %	ASTM D 4355	70%

* MINIMUM OR MAXIMUM AVERAGE ROLL VALUES.

2.02 STRAW BALES

- A. STRAW OR HAY BALES IN GOOD CONDITION WITH NOMINAL DIMENSIONS OF 14" W x 18"H x 30"L.
- B. STAKES: WOOD STAKES WITH MINIMUM DIMENSION OF 2" x 2" x 30".

2.03 SEDIMENT LOGS

- A. WOOD EXCELSIOR LOG WRAPPED IN BIODEGRADABLE FABRIC OR MESH AND LISTED IN THE EROSION CONTROL PRODUCT ACCEPTABILITY LISTS.
- B. STAKES: WOOD STAKES WITH MINIMUM DIMENSION OF 1" x 1" x 24".

2.04 TEMPORARY SEED

- A. AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. PROVIDE SPECIES AS FOLLOWS:

SPECIES	% PURITY
OATS	98
CEREAL RYE	97
WINTER WHEAT	95
ANNUAL RYEGRASS	97

- B. PROVIDE OATS FOR SPRING AND SUMMER. PROVIDE CEREAL RYE, WINTER WHEAT, OR ANNUAL RYEGRASS FOR FALL SEEDING.

2.05 EROSION MAT

- A. ALL EROSION MAT PRODUCTS SHALL BE OF THE CLASS AND TYPE INDICATED AND SHALL BE CHOSEN FROM THE EROSION CONTROL PRODUCT ACCEPTABILITY LISTS.
- B. CLASS I: A SHORT-TERM DURATION (SIX MONTHS OR GREATER), LIGHT DUTY, ORGANIC MAT. NETTING SHALL BE ORGANIC, PHOTODEGRADABLE PLASTIC OR BIODEGRADABLE NETTING. THE WEIGHT OF THE NETTING SHALL NOT EXCEED 15% OF THE TOTAL BLANKET WEIGHT. THE NETTING SHALL BE SUFFICIENTLY BONDED TO THE PARENT MATERIAL TO PREVENT SEPARATION FOR THE LIFE OF THE PRODUCT.
 - TYPE A: A NETTED PRODUCT FOR USE ON SLOPES 2.5 TO 1 OR FLATTER WITH A MINIMUM PRODUCT PERMISSIBLE SHEAR STRESS OF 50 PA (1.0 LBS/FT²). NOT TO BE USED IN CHANNELS.
 - TYPE B: A DOUBLE NETTED PRODUCT FOR USE ON SLOPES 2 TO 1 OR FLATTER OR IN CHANNELS WITH A MINIMUM PRODUCT PERMISSIBLE SHEAR STRESS OF 70 PA (1.5 LBS/FT²).
- C. CLASS II: A LONG-TERM DURATION (3 YEARS OR GREATER), ORGANIC MAT. THE WEIGHT OF THE NETTING SHALL NOT EXCEED 15% OF THE TOTAL BLANKET WEIGHT. THE NETTING SHALL BE BONDED SUFFICIENTLY TO THE PARENT MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL FOR THE LIFE OF THE PRODUCT.
 - TYPE A: JUTE FIBER ONLY TO BE USED FOR REINFORCING SOD.
 - TYPE B: FOR USE ON SLOPES 2:1 OR FLATTER, OR IN CHANNELS WITH A MINIMUM PRODUCT PERMISSIBLE SHEAR STRESS OF 95 PA (2.0 LBS/FT²). NON-ORGANIC, PHOTODEGRADABLE, OR BIODEGRADABLE NETTING ALLOWED.
 - TYPE C: FOR USE ON SLOPES 2:1 OR FLATTER, OR IN CHANNELS WITH A MINIMUM PRODUCT PERMISSIBLE SHEAR STRESS OF 95 PA (2.0 LBS/FT²). ONLY 100% ORGANIC FIBERS ALLOWED. WOVEN MATS ARE ALLOWED WITH A MAXIMUM OPENING OF 1/4 INCH. USE IN ENVIRONMENTALLY SENSITIVE AREAS THAT HAVE A HIGH PROBABILITY OF ENTRAPPING ANIMALS IN THE PLASTIC NETTING.
- D. STAPLES: U-SHAPED NO. 11 GAUGE OR GREATER WIRE WITH A SPAN WIDTH OF ONE TO TWO INCHES AND A LENGTH OF NOT LESS THAN 6 INCHES FOR FIRM SOIL AND 12 INCHES FOR LOOSE SOIL.

2.06 SOIL STABILIZER

- A. SOIL STABILIZER SHALL BE A POLYACRYLAMIDE (PAM) AND CALCIUM SOLUTION INTENDED TO REDUCE THE ERODIBILITY OF BARE SOILS. THE PRODUCT SHALL ACHIEVE AN 80% REDUCTION IN SOIL LOSS INDUCED BY A TWO INCH PER HOUR RAINFALL SIMULATOR.
- B. PAM MIXTURES SHALL BE ENVIRONMENTALLY BENIGN, HARMLESS TO FISH, AQUATIC ORGANISMS, WILDLIFE, AND PLANTS. ONLY ANIONIC PAM WILL BE PERMITTED.
- C. ANIONIC PAM, IN PURE FORM SHALL HAVE NO MORE THAN 0.05% FREE ACRYLIC MONOMER BY WEIGHT, AS ESTABLISHED BY THE FOOD AND DRUG ADMINISTRATION AND THE ENVIRONMENTAL PROTECTION AGENCY. THE ANIONIC PAM IN PURE FORM SHALL NOT EXCEED 200 POUNDS PER BATCH.
- D. THE PRODUCT PROVIDED SHALL BE LISTED IN THE WISDOT PAL FOR TYPE B SOIL STABILIZER.

2.07 INLET PROTECTION

- A. TYPE A: USE AROUND FIELD INLETS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED. USE ON PAVEMENT INLETS PRIOR TO INSTALLATION OF CURB AND GUTTER OR PAVEMENT.
- B. TYPE B: USE ON INLETS WITHOUT CURB HEAD AFTER CASTING AND GRATE ARE IN PLACE.
- C. TYPE C: USE ON STREET INLETS WITH CURB HEAD.
- D. TYPE D: USE IN AREAS WHERE OTHER TYPED OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS CAUSING POSSIBLE SAFETY HAZARDS WHEN PONDING OCCURS AT INLET.
- E. GEOTEXTILE: TYPE FF MEETING THE REQUIREMENTS OF THE LATEST EDITION OF WISDOT PAL.

PART 3 - EXECUTION

3.01 INSTALLATION OF DIVERSIONS

- A. TEMPORARY DIVERSIONS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH WDNR CONSERVATION PRACTICE STANDARD, CONSTRUCTION SITE DIVERSION (1066).

3.02 INSTALLATION OF SILT FENCE AND STRAW BALE BARRIERS

- A. INSTALL STRAW BALE BARRIERS IN ACCORDANCE WITH THE DRAWINGS AND WDNR CONSERVATION PRACTICE STANDARD, SEDIMENT BALE BARRIER (1055).
- B. INSTALL SILT FENCE IN ACCORDANCE WITH THE DRAWINGS AND WDNR CONSERVATION PRACTICE STANDARD, SILT FENCE (1056).
- C. SILT FENCE AND STRAW BALE BARRIERS SHALL BE PLACED ON THE CONTOUR TO THE EXTENT PRACTICABLE. PLACE FENCES PARALLEL TO THE SLOPE WITH THE ENDS OF THE FENCE TURNED UPSLOPE A DISTANCE OF ONE TO TWO FEET. THE PARALLEL SPACING SHALL NOT EXCEED THE MAXIMUM SLOPE LENGTHS AS INDICATED IN THE FOLLOWING TABLE:

FENCE AND BARRIER SPACING	SLOPE	SPACING
	<2%	100'
	2 - 5%	75'
	5 - 10%	50'
	10 - 33%	25'
	>33%	20'

3.03 TEMPORARY SEEDING

- A. PROVIDE A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.
- B. APPLY SEED EVENLY AT THE RATE SHOWN IN THE FOLLOWING TABLE. RAKE OR DRAG TO COVER THE SEED TO A DEPTH OF 1/4 INCH.

SPECIES	LBS./ACRE
OATS	131
CEREAL RYE	131
WINTER WHEAT	131
ANNUAL RYEGRASS	80

3.04 EROSION MAT INSTALLATION

- A. REMOVE STONES, CLODS, STICKS, OR OTHER FOREIGN MATERIAL THAT WOULD DAMAGE THE MAT OR INTERFERE WITH THE MAT BEARING COMPLETELY ON THE SURFACE.
- B. INSTALL EROSION MAT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- C. AFTER SEEDING HAS BEEN COMPLETED, ROLL BLANKETS OUT PARALLEL TO THE DIRECTION OF WATER FLOW, WITH THE NETTING ON TOP. SPREAD THE BLANKETS WITHOUT STRETCHING, MAKING SURE THE FIBERS ARE IN CONTACT WITH THE SOIL. OVERLAP ADJACENT STRIPS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. OVERLAP STRIP ENDS A MINIMUM OF 10 INCHES WITH THE UPGRADE STRIP ON TOP. BURY THE UPGRADE END OF EACH STRIP IN A VERTICAL TRENCH AT LEAST 6 INCHES DEEP.
- D. STAPLE THE MAT STRIPS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. STAPLE LONGITUDINAL OVERLAPS AND OUTER EDGES AT MAXIMUM INTERVALS OF 3 FEET. STAPLE STRIP ENDS AT MAXIMUM INTERVALS OF 16 INCHES. PLACE STAPLES THROUGHOUT THE MAT AT MAXIMUM 3-FOOT INTERVALS. INSERT STAPLES FLUSH WITH THE GROUND SURFACE.

3.05 SOIL STABILIZER

- A. THE MANUFACTURER SHALL PROVIDE DETAILED WRITTEN INSTRUCTIONS ON THE STORAGE, MIXING, AND APPLICATION PROCEDURES.
- B. THE SOIL STABILIZER MAY BE APPLIED BY SPRAYING OR BY DRY SPREADING.
- C. APPLICATION RATES: APPLY AT THE RATE RECOMMENDED BY THE MANUFACTURER.
- D. DO NOT APPLY WITHIN 30 FEET OF BODY OF WATER (I.E. LAKE, RIVER, STORMWATER POND).

3.06 DITCH EROSION CONTROL

- A. THE FOLLOWING EROSION CONTROL MEASURES ARE MINIMUM REQUIREMENTS FOR ALL DITCHES. THE DRAWINGS MAY INCLUDE MORE SPECIFIC MEASURES.

DITCH EROSION CONTROL		
SLOPE RANGE	METHOD	BALE CHECKS
0 - 1%	SEED AND MULCH	NONE
1% - 4%	SEED AND MULCH WITH EROSION MAT	1% - 2%; EVERY 200' 2% - 4%; EVERY 100'
4% - 6%	STAKED SOD	EVERY 75'
>6%	STAKED SOD AND/OR RIPRAP AS SPECIFIED BY ENGINEER ON DRAWINGS	EVERY 75' FOR SOD

- B. STONE DITCH CHECKS: UNLESS OTHERWISE INDICATED ON THE DRAWINGS, INSTALL STONE DITCH CHECKS AT INTERVALS OF ONE DITCH CHECK FOR EVERY TWO FEET OF DROP IN CHANNEL GRADE.

3.07 INSTALLATION OF SOD IN DITCHES

- A. LAY SOD SO THAT JOINTS OF ABUTTING ENDS OF STRIPS ARE NOT CONTINUOUS. LAY EACH STRIP SNUGLY AGAINST PREVIOUSLY LAID STRIPS.
- B. ROLL OR FIRMLY TAMP SOD TO PRESS THE SOD INTO THE UNDERLYING SOIL.
- C. TURN THE UPPER EDGES OF THE STRIPS INTO THE SOIL.
- D. STAKE STRIPS ALONG THE LONGITUDINAL AXIS AT 18-INCH INTERVALS AND NEAR THE TOP EDGE OF THE STRIP. PROVIDE WOOD LATH OR SIMILAR STAKES, 12 INCHES LONG. LEAVE TOP OF STAKE APPROXIMATELY 1/2 INCH ABOVE SOD SURFACE.

3.08 INSTALLATION OF OTHER FACILITIES

- A. INLET PROTECTION BARRIERS, CHANNEL STABILIZATION, GRASSED WATERWAYS, ROCK LINED WATERWAYS, SEDIMENTS TRAPS, SEDIMENT BASINS, AND OTHER FORMS OF EROSION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.

3.09 MAINTENANCE

- A. INSPECT DIVERSIONS WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL, UNTIL THE VEGETATIVE COVER IS STABILIZED. MAKE NECESSARY REPAIRS IMMEDIATELY.
- B. INSPECT FILTER FABRIC FENCES AND BARRIERS WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL. NECESSARY REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. REMOVE SEDIMENT DEPOSITS WHEN DEPOSITS REACH ONE-HALF THE HEIGHT OF THE FENCE. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FABRIC DUE TO WEATHERING.
- C. INSPECT STRAW BALE FENCES AND BARRIERS WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL. NECESSARY REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. REMOVE SEDIMENT DEPOSITS WHEN DEPOSITS REACH ONE-THIRD THE HEIGHT OF THE BALES. REPLACE BALES AFTER THREE MONTHS.
- D. INSPECT ALL SEEDING, SOD, MULCHES, MATS AND NETS WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL. ADDITIONAL MULCH, NETTING OR MATTING SHALL BE APPLIED IMMEDIATELY WHEN NECESSARY TO MAINTAIN SUITABLE COVERAGE. MAKE INSPECTIONS UNTIL VEGETATIVE COVER IS ESTABLISHED. WATER SEEDING AND SOD WHEN NECESSARY TO PROMOTE ESTABLISHMENT.
- E. ALL OTHER SOIL EROSION CONTROL MEASURES SHOULD BE INSPECTED AND REPAIRED IMMEDIATELY, IF REQUIRED, WITHIN 24 HOURS AFTER STORM EVENT OR DAILY DURING PERIODS OF PROLONGED RAINFALL.

3.10 REMOVAL

- A. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE BALES, SILT FENCES, DITCH CHECKS, DIVERSIONS, AND OTHER EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.

3.11 MONITORING FOR WPDES PERMIT

- A. UNLESS INDICATED OTHERWISE WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MONITORING REQUIREMENTS OF THE WPDES PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- B. EROSION AND SEDIMENT CONTROLS SHALL BE ROUTINELY INSPECTED AT LEAST EVERY SEVEN DAYS, AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS SHALL BE MAINTAINED AND SUBMITTED TO THE ENGINEER. THE REPORTS SHALL CONTAIN THE FOLLOWING INFORMATION:
 - DATE, TIME, AND EXACT PLACE OF INSPECTION.
 - NAME(S) OF INDIVIDUAL(S) PERFORMING INSPECTION.
 - AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS.
 - A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED.
 - A DESCRIPTION OF THE SITES PRESENT PHASE OF CONSTRUCTION.
- C. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH THE APPROPRIATE DNR FORM TO USE FOR THE INSPECTIONS.



General Engineering Company

P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net

This document contains confidential or proprietary information of General Engineering Company. Neither this document nor the information herein is to be reproduced, distributed, used for disclosure either in whole or in part except as specifically authorized by General Engineering Company.

EROSION CONTROL SPECIFICATIONS
OAK STREET DEVELOPMENT
FIORELLA NEIRA

CITY OF WISCONSIN DELLS
COLUMBIA COUNTY, WI

REVISIONS	NO.	BY	DATE

AS NOTED
SCALE
DRAWN BY LAL
REVIEWED BY BRB
ISSUE DATE NOV 2018
GEC FILE NO. 2-1018-499
SHEET NO.

CSM – Todd and Shari Neson

Sauk County, Wisconsin Dells Parcel 291-0026-10000, 291-0026-22000, and 291-0026-21000

Staff Report for Plan Commission, 11/13/2018

The City of Wis. Dells approved a Certified Survey Map (CSM) for Todd and Shari Nelson in February 2018. The purpose of that CSM was to describe the lands that were to be donated to the school. After further review of the property, the owners have decided to modify the boundaries. As such, a new CSM has been submitted for review.

Chris Tollaksen

City of Wis. Dells

11/09/2018

LOTS 1 AND 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 6606, LOCATED IN PART OF THE NE 1/4 OF THE FRACTIONAL NW 1/4, THE NW 1/4 OF THE FRACTIONAL NW 1/4, THE SW 1/4 OF THE FRACTIONAL NW 1/4, AND THE SE 1/4 OF THE FRACTIONAL NW 1/4 OF SECTION 4, AND PART OF THE NE 1/4 OF THE FRACTIONAL NE 1/4 OF SECTION 5, ALL IN T13N, R6E, ALL IN THE CITY OF WISCONSIN DELLS, SAUK COUNTY WISCONSIN
SAUK COUNTY CERTIFIED SURVEY MAP No _____.

Primary Line Table		
Line #	Length	Direction
L1	27.99'	S89°39'00"E
L2	297.09'	S39°01'29"E
L3	6.96'	N86°40'15"W
L4	152.70'	S00°12'39"E
L5	553.11'	S08°47'09"W
L6	305.42'	N78°42'02"W
L7	149.76'	S06°40'48"W
L8	6.51'	N89°31'29"E
L9	424.36'	N39°39'05"W
L10	659.67'	N33°26'15"W
L11	241.14'	S89°37'03"E

Secondary Line Table		
Line #	Length	Direction
L12	757.33'	N39°35'14"W
L13	633.72'	N39°35'14"W
L14	20.83'	N39°35'14"W
L15	215.70'	N33°26'15"W
L16	443.97'	N33°26'15"W
L17	230.84'	S89°50'26"E
L18	717.08'	S89°50'26"E
L19	358.41'	N89°50'26"W
L20	8.11'	S89°50'26"E
L21	282.20'	S89°50'26"E
L22	221.19'	S89°50'26"E
L23	321.47'	S89°50'26"E
L24	59.31'	S43°48'09"E
L25	253.82'	S88°54'12"E

Secondary Line Table		
Line #	Length	Direction
L26	382.72'	S67°08'12"E
L27	194.56'	S00°21'56"W
L28	154.65'	S00°21'56"W
L29	236.77'	N00°21'56"E
L30	353.52'	S00°21'56"W
L31	221.21'	S88°43'34"E
L32	236.77'	S00°21'56"W
L33	221.21'	N88°43'34"W
L34	413.11'	S88°43'34"E
L35	591.64'	S06°54'37"W
L36	368.89'	N00°32'39"W
L37	108.22'	N33°26'15"W

Primary Curve Table							
Curve #	Length	Radius	Delta	Chord Length	Chord Dir.	Tan. IN	Tan. OUT
C1	221.97'	293.50'	43°19'53"	216.72'	S25°12'26"W	S46°52'23"W	S03°32'30"W
C2	19.40'	300.50'	3°41'59"	19.40'	S01°49'21"W	S03°40'20"W	S00°01'39"E
C3	440.44'	2827.61'	8°55'29"	440.00'	S04°19'01"W	S08°46'45"W	S00°08'44"E
C4	704.79'	1977.86'	20°25'01"	701.07'	N49°51'35"W	N39°39'05"W	N60°04'05"W

Secondary Curve Table							
Curve #	Length	Radius	Delta	Chord Length	Chord Dir.	Tan. IN	Tan. OUT
C5	628.60'	1977.86'	18°12'35"	625.96'	N48°45'22"W	N39°39'05"W	N57°51'40"W
C6	76.19'	1977.86'	2°12'26"	76.19'	N58°57'53"W	N57°51'40"W	N60°04'06"W

07 Nov 2018 - 1:42p R:\Kalahari Resorts\180023 Brew Farm CSM\CADD\180023 - CSM ll.dwg by: mlon

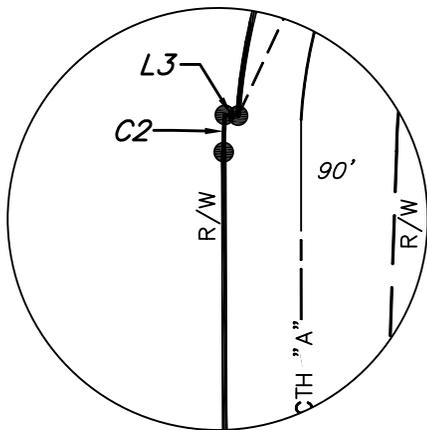
vierbicher
 planners | engineers | advisors



Phone: (800) 261-3898

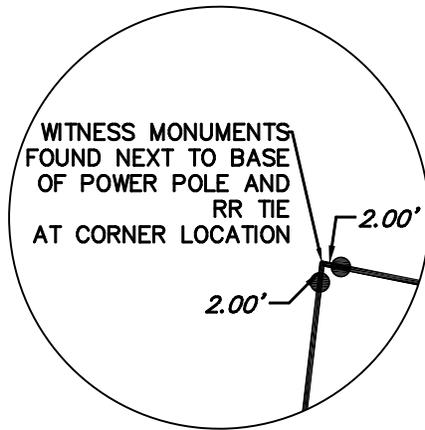
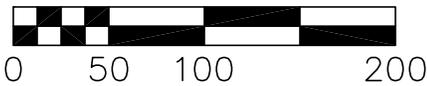
REVISIONS	SCALE na	SHEET 2 OF 5
	CHECKED sdis	
	DRAFTER mlon	
	FILE 180023	
JOB NO. 180023	DATE 11/7/2018	

LOTS 1 AND 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 6606, LOCATED IN PART OF THE NE 1/4 OF THE FRACTIONAL NW 1/4, THE NW 1/4 OF THE FRACTIONAL NW 1/4, THE SW 1/4 OF THE FRACTIONAL NW 1/4, AND THE SE 1/4 OF THE FRACTIONAL NW 1/4 OF SECTION 4, AND PART OF THE NE 1/4 OF THE FRACTIONAL NE 1/4 OF SECTION 5, ALL IN T13N, R6E, ALL IN THE CITY OF WISCONSIN DELLS, SAUK COUNTY WISCONSIN
 SAUK COUNTY CERTIFIED SURVEY MAP No. _____



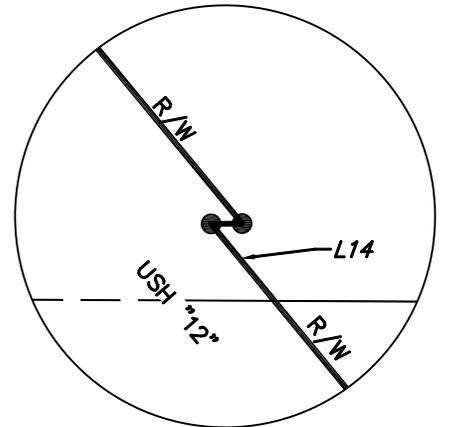
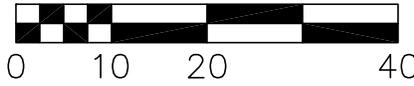
DETAIL - 1
 1" = 100'

GRAPHIC SCALE FEET



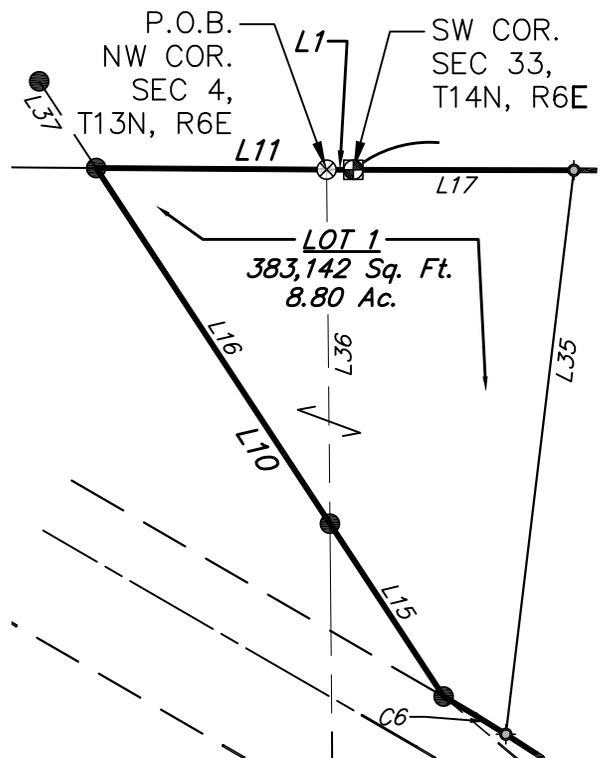
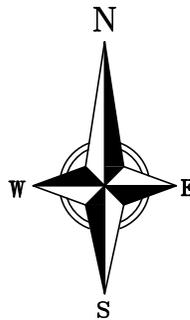
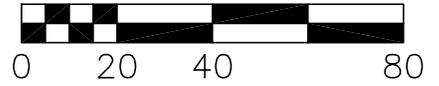
DETAIL - 2
 1" = 20'

GRAPHIC SCALE FEET



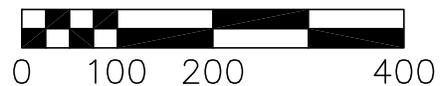
DETAIL - 3
 1" = 40'

GRAPHIC SCALE FEET



LOT 1 DETAIL
 1" = 200'

GRAPHIC SCALE FEET



SURVEY LEGEND

- HARRISON STANDARD, TIES VERIFIED
- ⊗ HARRISON SLIMLINE, TIES VERIFIED
- ALUMINIUM CAPPED MON., TIES VERIFIED
- FOUND 3/4" Ø IRON ROD
- ⊙ FOUND 1 1/4" Ø IRON ROD
- ⊕ SET 3/4" Ø IRON ROD x 18", 1.13 LB/FT. MIN.

07 Nov 2018 - 1:41p R:\Kalahari Resorts\180023 Brew Farm CSM\CADD\180023 - CSM II.dwg by: mlon

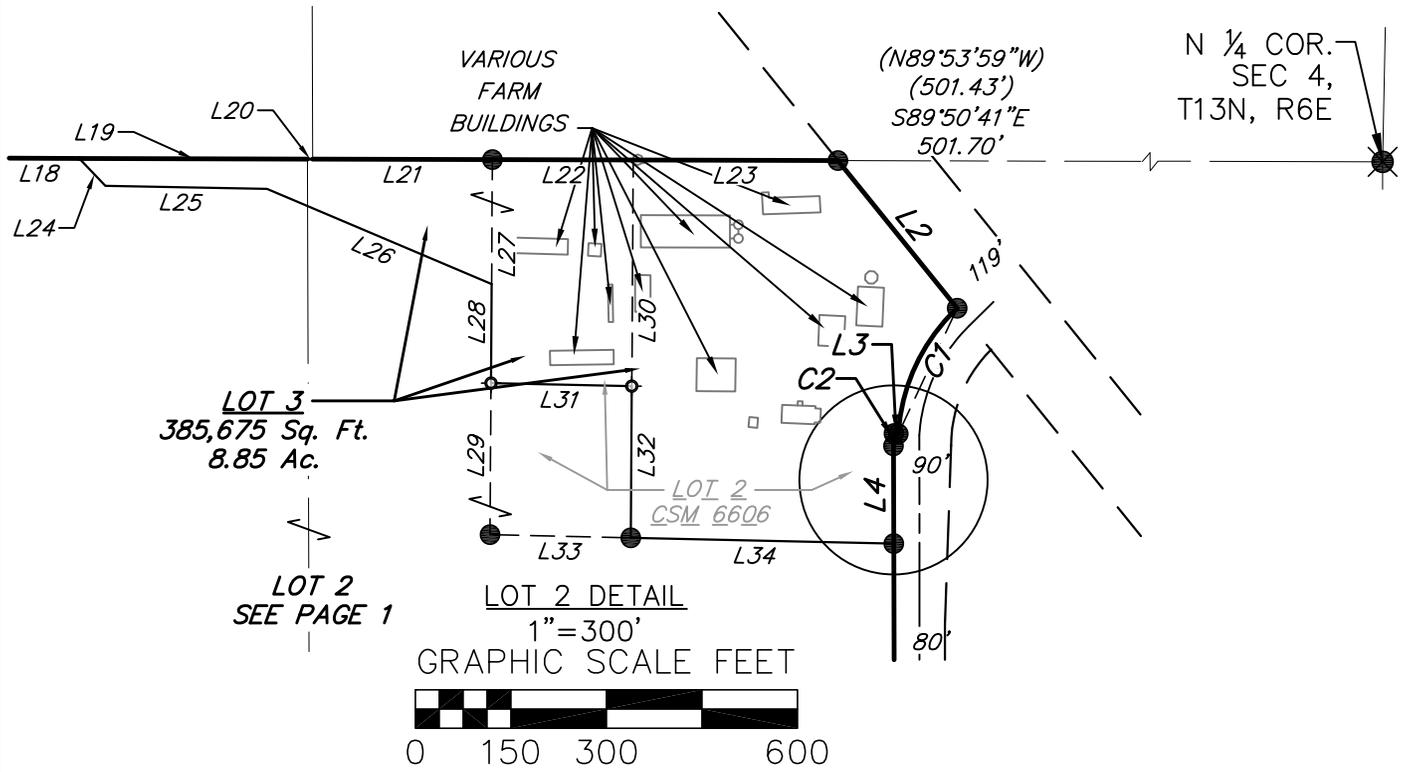
vierbicher
 planners | engineers | advisors



Phone: (800) 261-3898

REVISIONS	SCALE 1" = 100'	SHEET
	CHECKED sdis	3 OF 5
	DRAFTER mlon	
	FILE 180023	
	DATE 11/7/2018	
JOB NO. 180023		

LOTS 1 AND 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 6606, LOCATED IN PART OF THE NE 1/4 OF THE FRACTIONAL NW 1/4, THE NW 1/4 OF THE FRACTIONAL NW 1/4, THE SW 1/4 OF THE FRACTIONAL NW 1/4, AND THE SE 1/4 OF THE FRACTIONAL NW 1/4 OF SECTION 4, AND PART OF THE NE 1/4 OF THE FRACTIONAL NE 1/4 OF SECTION 5, ALL IN T13N, R6E, ALL IN THE CITY OF WISCONSIN DELLS, SAUK COUNTY WISCONSIN
SAUK COUNTY CERTIFIED SURVEY MAP No _____.



SURVEY LEGEND

- HARRISON STANDARD, TIES VERIFIED
- ⊗ HARRISON SLIMLINE, TIES VERIFIED
- ALUMINIUM CAPPED MON., TIES VERIFIED
- FOUND 3/4" Ø IRON ROD
- ⊙ FOUND 1 1/4" Ø IRON ROD
- ⊕ SET 3/4" Ø IRON ROD x 18", 1.13 LB/FT. MIN.

CITY OF WISCONSIN DELLS, APPROVAL CERTIFICATE

Resolved, that this certified Survey Map in the City of Wisconsin Dells, Todd R. & Shari L. Nelson, owner, is hereby approved by the City of Wisconsin Dells Common Council.

 Brian L. Landers, Mayor Date

 Nancy R. Holzem, City Clerk Date

07 Nov 2018 - 1:40p R:\Kalahari Resorts\180023 Brew Farm CSM\CADD\180023 - CSM II.dwg by: mlon

vierbicher
 planners | engineers | advisors



Phone: (800) 261-3898

REVISIONS	SCALE 1"=200'	SHEET
	CHECKED sdis	4 OF 5
	DRAFTER mlon	
	FILE 180023	
JOB NO. 180023	DATE 11/7/2018	

LOTS 1 AND 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 6606, LOCATED IN PART OF THE NE ¼ OF THE FRACTIONAL NW ¼, THE NW ¼ OF THE FRACTIONAL NW ¼, THE SW ¼ OF THE FRACTIONAL NW ¼, AND THE SE ¼ OF THE FRACTIONAL NW ¼ OF SECTION 4, AND PART OF THE NE ¼ OF THE FRACTIONAL NE ¼ OF SECTION 5, ALL IN T13N, R6E, ALL IN THE CITY OF WISCONSIN DELLS, SAUK COUNTY WISCONSIN
SAUK COUNTY CERTIFIED SURVEY MAP No _____.

SURVEYOR'S CERTIFICATION

I, Marc A. Londo, Wisconsin Professional Land Surveyor #2696, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the City of Wisconsin Dells, and under the direction of Dan Holzem, Agent for Todd R. & Shari L. Nelson, I have surveyed, divided and mapped this Certified Survey; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is located in part of the NE1/4 of the Fractional NW1/4, the NW1/4 of the Fractional NW1/4, the SW1/4 of the Fractional NW1/4, and the SE1/4 of the Fractional NW1/4 of Section 4, and part of the NE1/4 of the fractional NE1/4 of Section 5, all in T13N, R6E, City of Wisconsin Dells, Sauk County, Wisconsin, containing 79.13 acres of land and bounded by a line described as follows:

LEGAL DESCRIPTION

Lots 1 and 2 of Sauk County Certified Survey Map (CSM) 6606 located in Part of the NE ¼ of the Fractional NE ¼ of Section 5, the NW ¼ of the Fractional NW ¼, the NE ¼ of the Fractional NW ¼, and the SW ¼ of the Fractional NW ¼ and the SE ¼ of the Fractional NW ¼ of Section 4, T13N, R6E, City of Wisconsin Dells, Sauk County Wisconsin.

Beginning at the Northwest Corner of said Section 4, Town 13 North, Range 6 East;

Thence S89°39'00"E, along the north line of the NW ¼ of said Section 4, 27.99 feet (L1), to the southwest corner of Section 33, T14N, R6E;

Thence, S89°50'26"E, along the north line of the NW ¼ of said Section 4, 2139.30 feet to the westerly right-of way line of the Chicago, Milwaukee, St. Paul and Pacific Railway and the northeast corner of Lot 2 of said CSM 6606;

Thence S39°01'29"E, along the westerly right-of way line of the Chicago, Milwaukee, St. Paul and Pacific Railway, 297.09 feet (L2) to the westerly right-of-way line of Sauk County Highway "A" and a non-tangent curve, concave to the southeast;

Thence 221.97 feet, along said non-tangent arc concave to the southeast, having a radius of 293.50 feet, an included angle of 43°19'53", (a chord of 216.72 feet which bears S25°12'26"W) (C1);

Thence N86°40'15"W, continuing along said westerly right-of-way line of Sauk County Highway "A", 6.96 feet (L3) to a non-tangent arc, concave to the east;

Thence, continuing along the west right-of-way line of Sauk County Highway "A", 19.40 feet, along said non-tangent arc, concave to the east, having a radius of 300.50 feet, an included angle of 3°41'59", (a chord of 19.40 feet which bears S01°49'21"W) (C2);

Thence, S00°12'39"E, continuing along the westerly right-of-way line of Sauk County Highway "A", 152.70 feet (L4);

Thence, S00°08'20"E, continuing along the westerly right-of-way line of Sauk County Highway "A", 736.74 feet to an arc to the right;

Thence, continuing along the westerly right-of-way line of Sauk County Highway "A", 440.44 feet, along said arc having a radius of 2827.61 feet, an included angle of 8°55'29", (a chord of 440.00 feet which bears S4°19'01"W) (C3);

Thence, S08°47'09"W, continuing along the said westerly right-of-way line of Sauk County Highway "A", 553.11 feet (L5), to the north line of lands described in Sauk County Register of Deeds Document #1140124 and the southeasterly corner of Lot 1 of said CSM 6606;

Thence, N78°42'02"W, along the northerly line of lands described in Sauk County Register of Deeds Document #1140124, 305.42 feet, to the northwesterly corner thereof (L6);

Thence, S06°40'48"W, along the westerly line of lands described in Sauk County Register of Deeds Document #1140124, 149.76 feet, (L7) to the northeasterly right-of-way line of US Highway "12";

Thence, N39°35'14"W, along the said northeasterly right-of-way line of US Highway "12", 1411.88 feet;

Thence, N89°31'29"E, along the said northeasterly right-of-way line of US Highway "12", 6.51 feet (L8);

Thence, N39°39'05"W, along the said northeasterly right-of-way line of US Highway "12", 424.36 feet (L9), to an arc to the left;

Thence continuing along the said northeasterly right-of-way line of US Highway "12", 704.79 feet, along said arc having a radius of 1977.86 feet, an included angle of 20°25'01", (a chord of 701.07 feet which bears N49°51'35"W) (C4), to the easterly line of Rocky Arbor State Park being lands described in Sauk County Register of Deeds Conversion Document recorded as Volume 123, Page 330;

Thence, N33°26'15"W, along the east line of said Rocky Arbor State Park, 659.67 feet (L10), to the north line of the NE ¼ of Section 5, T13N, R6E;

Thence S89°37'03"E, along the said north line of Section 5, 241.14 feet (L11) to the northeast corner thereof and the point of beginning;

Parcel contains 79.13 Ac., 3,446,854 Sq. Ft. and is subject to all other easements and rights of way of record.

 Marc A. Londo, PLS 2696 Date
 Vierbicher Assoc.



REVISIONS	SCALE na	SHEET 5 OF 5
	CHECKED sdis	
	DRAFTER mlon	
	FILE 180023	
JOB NO. 180023	DATE 11/7/2018	